



Troy Zoom is inviting you to a scheduled Zoom meeting.

Topic: 8-26-20 Troy Ohio Planning Commission
Time: Aug 26, 2020 3:30 PM Eastern Time (US and Canada)

Join Zoom Meeting
<https://us02web.zoom.us/j/85214189077>

Meeting ID: 852 1418 9077

Please note the following:

1. The meetings may be televised live on the City's Facebook page (subject to the technological capability)
2. The public can submit questions or comments on any item in advance of the meeting by submitting them to Planning Commission Secretary, Sue Knight at sue.knight@troyohio.gov. Questions or comments are to be submitted no later than noon, the day of the meeting

Notes for Planning Commission Members:

1. Members should be un-muted (unless there are background noises that would be picked up on audio)
2. Everyone else is asked to stay muted unless called upon
3. Please be aware that once you join the meeting you are on video

AGENDA - TROY PLANNING COMMISSION MEETING

WEDNESDAY, AUGUST 26, 2020, 3:30 P.M.

1. Roll Call
2. Minutes - 8-12-2020
 1. Proposed Major Change to the Arbogast Performing Arts Center (APAC) Planned Development - Residential (PD-R) 700 S. Dorset Road to add a parcel to the area of the PD-R (IL 4958) and rezone that parcel to the PD-R and establish a parking lot.
Owner: Troy Christian Schools, Inc.
Applicant: Stephen Butler (Community Civil Engineers, LLC)
-Commission to determine whether or not to have a public hearing
-Commission to provide recommendation to Council
3. Other

Note to Commission members:
If you will not be attending, please email or call Sue.

August 12, 2020

A regular meeting of the Troy Planning Commission was held in Council Chambers, City Hall, on Wednesday, August 12, 2020, at 3:35 p.m., with Chairman Alan Kappers presiding. Members attending – Kappers, Wolke, Oda, Westmeyer, McGarry, and Ehrlich; Staff attending: Zoning Inspector Watson, Development Director Davis.

MINUTES OF JULY 22, 2020 MEETING. Minute were approved upon motion of Mr. McGarry, second by Mr. Titterington.

HISTORIC DISTRICT APPLICATION FOR 121 PUBLIC SQUARE NE; REPLACEMENT OF CORNICE ACROSS FRONT BUILDING ELEVATION THAT WAS DESTROYED IN THE JANUARY 2020 TORNADO; OWNER – MIAMI COUNTY FAMILY ABUSE SHELTER, INC.; APPLICANT – BARBARA HOLMAN, DIRECTOR.

Staff reported: property is zoned B-3, Central Business District; building was constructed in 1873 and is on the National Register of Historic Buildings; application is to install a decorative, fiberglass and PVC cornice across the front elevation of the building to replace that missing from the January tomado; the building will be repaired and the new cornice attached and painted to match the existing color of the trim; the cornice is not an exact match, but the proposal will keep the brackets at the ends, with two in the middle; there will be dentil molding, and block modillions and a foot molding along the length of the building; and staff recommends approval based on the findings of:

- The proposed alteration is in keeping with the historic nature of the district.
- The proposed alteration is compatible with the surrounding streetscape environment
- The proposed design maintains the historic integrity of the building.

A motion was made by Mayor Oda, seconded by Mr. McGarry, to approve the Historic District Application for 121 Public Square NE as submitted, with the exact material stated in the application, and based on the findings of Staff that:

- The proposed alteration is in keeping with the historic nature of the district.
- The proposed alteration is compatible with the surrounding streetscape environment
- The proposed design maintains the historic integrity of the building.

OTHER: Mr. Kappers asked about attending zoom meetings once the state of emergency due to COVID-19 has ended. It was stated that under normal conditions, members must physically attend meetings to participate.

There being no further business, the meeting adjourned at 3:40 p.m. upon motion of Mr. Wolke, seconded by Mr. McGarry.

Respectfully submitted,

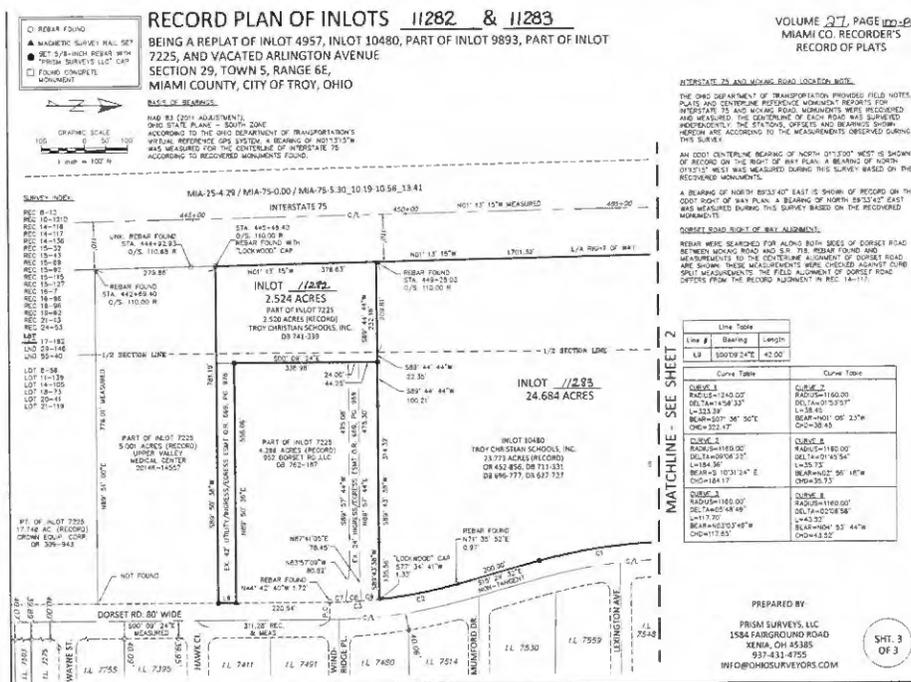
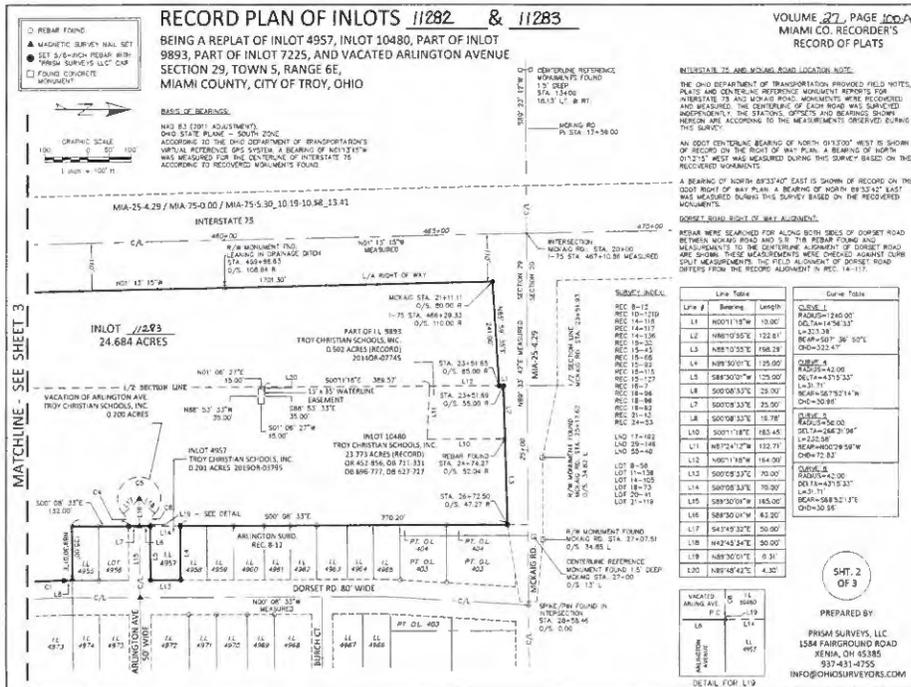
_____ Chairman

_____ Secretary

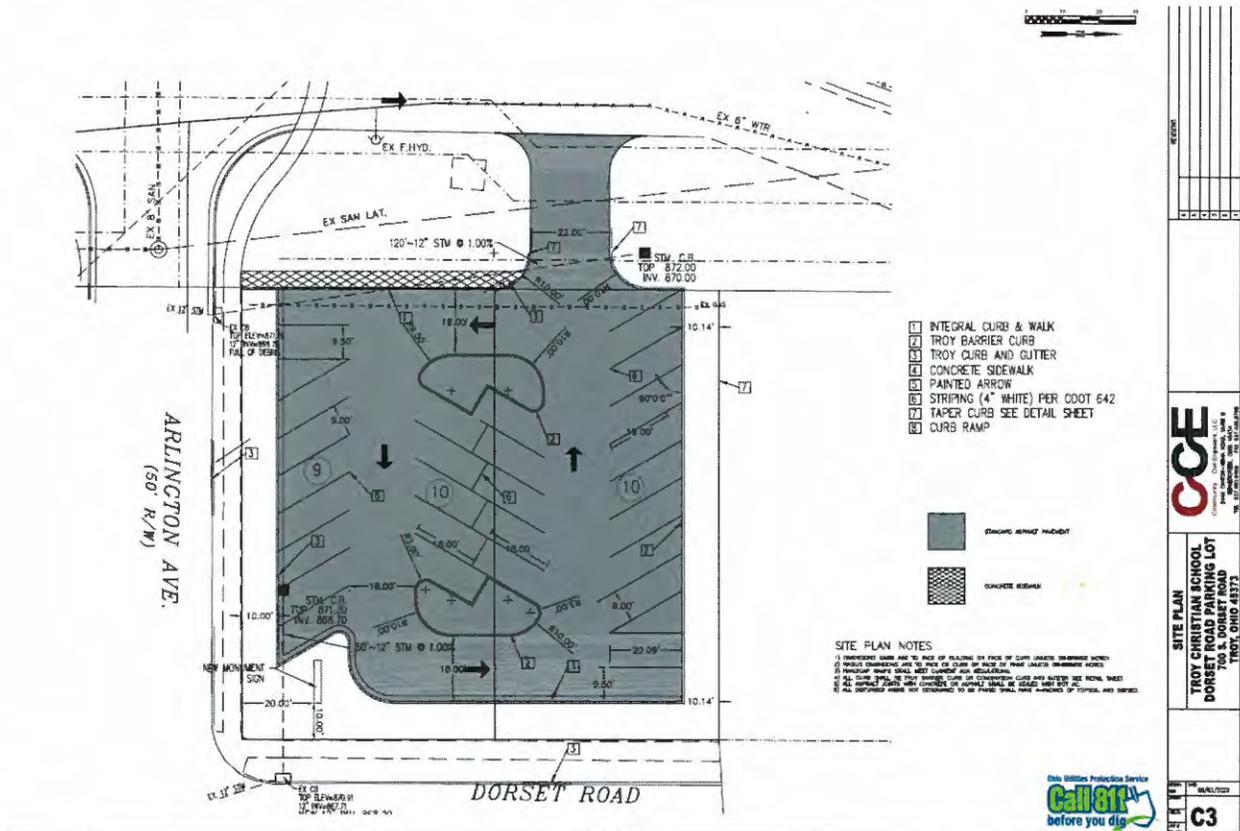
TO: Troy Planning Commission
 FROM: Planning Staff
 DATE: August 21, 2020
 SUBJECT: Major Revision to Ordinance O-31-2019 / Planned Development
 OWNER: Troy Christian Schools
 APPLICANT: Stephen Butler (Community Civil Engineers, LLC)

DISCUSSION:

The applicant comes before the Planning Commission requesting a major revision to the General Plan of the Planned Development approved by City Council last September by Ordinance O-31-2019. See approved Record Plan below.



The proposed 29 space parking lot development will be fully presented at the Final Development Plan step of this major revision. Both Engineering and Development Departments are reviewing applicable standards and requirements, including storm water, traffic flow, access, number of spaces, setbacks, landscaping, utilities, etc. The parking lot will have no access to Arlington Avenue or S. Dorset Road. The proposed site had a previously approved monument ground sign, of which the applicant would like to move an additional 10 feet from Arlington Avenue.



GENERAL PLANS STANDARDS:

As this is a Major alteration to the approved Planned Development, Planning Commission is required to review the proposed General Plan and may recommend the General Plan to City Council if it determines that the plan satisfies, at a minimum, the following criteria:

1. The General Plan should follow to the maximum extent practicable the Comprehensive Plan for the City, taking into account current facts and circumstances; **The Troy Comprehensive Plan indicates the proposed area is for schools, institutions, and religious use. The land will continue to be in compliance with the Troy Comprehensive Plan.**
2. An exemption to conventional zoning is justified because the Comprehensive Plan for the City can be more faithfully and reliably implemented by the use of PD zoning; **The exemption to conventional zoning is justified. The City of Troy Zoning Code does not permit parking lots in a zoning district different from property it serves.**
3. The General Plan is compatible with the location, topographic and other characteristics of the site and will bear a beneficial relationship with surrounding land

- uses in terms of noise, smoke, dust, debris, or other nuisances; **The Plan is compatible with these characteristics.**
4. The General Plan is carefully designed to support surrounding streets, utilities and other public improvements; **Public improvement and infrastructure have been studied with this proposed use for this area. The proposed parking lot will be reviewed for proper access and traffic flow as an addition to the site.**
 5. The General Plan represents an efficient and economic use of the land in view of the community's need for a balance of land uses; **The proposed development will serve both the APAC and Education facilities as off-street parking in this neighborhood.**
 6. All public streets, utilities and services necessary to carry out the General Plan are available to the site, or will be extended or improved by the developer and/or City in time to permit the development to be properly served; **The property has access to public utilities at the site and will meet any storm water requirements.**
 7. Exception from conventional zoning is warranted by design goals or other criteria and/or the need to provide a variety of development opportunities within the community; **An exemption is warranted from regular zoning. The PD proposes to combine both lots and bring the additional property into compliance with the City of Troy Zoning Code.**
 8. The design of the development protects natural assets such as streams, wood lots, steep terrain, and other critical environments in the City; **Not applicable in this request.**
 9. Taken as a whole the development of the proposed PD will have a positive effect on the health, safety, and general welfare of the City; **The proposed PD will create a positive effect on the community serving both the performance arts center and school.**
 10. The General Plan appears capable of being implemented by a Final Development Plan which meets all requirements of this Section. **The General Plan is capable of implementation by a Final Development Plan.**

ZONING CODE:

In reviewing a rezoning proposal, Section 1139.07 outlines the criteria on which to base decisions:

(A) Whether the change in classification would be consistent with the intent and purpose of this Zoning Code.

The rezoning would be consistent with the following sections of the Zoning Code:

- 1131.02 (g) “To provide for creatively designed single-use and mixed-use Planned Developments, and to preserve their character and vitality through ongoing regulatory supervision.”
- 1131.02 (v) “To provide for thorough, efficient and lawful Code administration.”

(B) Whether the proposed amendment is made necessary because of changed or changing conditions in the area affected, and, if so, the nature of such changed or changing conditions.

No changes in the area have created this rezoning request.

(C) Whether the uses that would be permitted on the property if it were reclassified would be compatible with the uses permitted on other property in the immediate vicinity.

The proposed use of the property is compatible with the other uses in the immediate vicinity. Schools – public or private, are permitted within residential districts.

(D) Whether adequate utility, sewer, and water facilities, and all other needed public services exist or can be provided to serve the uses that would be permitted on a property if it were reclassified.

The proposed PD can and will be served by City water and sewer. All other public services can be provided with the proposed rezoning.

(E) The amount of vacant land that currently has the same zoning classification as is proposed for the subject property, particularly in the vicinity of the subject property, and any special circumstances, in any, that make a substantial part of such vacant land unavailable for development.

The property is not surrounded by vacant land with the current R-5 and M-2 zoning classifications.

(F) Whether the proposed amendment would correct an error in the application of this Zoning Code as applied to the subject property.

Not applicable in this request.

PUBLIC HEARING:

Due to the straight forward nature of the request as a major revision to an already approved Planned Development, staff believes a public hearing before the Planning Commission is not warranted. City Council is required to hold a public hearing if the request proceeds on.

RECOMMENDATION:

Staff recommends that Planning Commission make a positive recommendation to City Council to approve this request for Planned Development zoning.



August 19, 2020

Mr. Robert Watson
City Hall
South Annex
102 S. Market St.
Troy, OH 45373

RE: Troy Christian Schools
Dorset Parking Lot

Dear Mr. Watson:

Please find attached to this letter an application for a Planned Development and exhibits. As you are aware Troy Christian Schools has purchased a residential house located at 466 S Dorset Road. It is the intent to combine this parcel with the larger planned development that was approved last year. The proposed improvements on this parcel consist of a parking lot with curb and landscaping. The parking lot will be accessed through the school property and no direct access will be on Dorset Road or Arlington. A Monument sign is proposed to be located at the intersection of Dorset Road and Arlington Avenue. This sign location was approved in the 2019 submittal. Due to the parking configuration we are proposing to move the sign an additional 10 feet from the Arlington Avenue right-of-way; giving a total distance of 20 feet. The distance to the Dorset Road right-of-way remains unchanged.

As part of this application we are proposing to modify the drive servicing the wrestling room, south of the existing high school. The safety and traffic flow in this area is proposed to be improved by widening the existing access drive to 24 feet and to extend it straight to the parking area.

Inlot 11282 is not included in the consolidation plat as future improvements on this site are still unknown.

During the rezoning in 2019 of the Troy Christian Schools campus, a large area (122,420 sf) of the elementary school was diverted to the existing detention basin. The diversion of the drainage shed allowed for an additional 100,545+/- sf of impervious area that could be added. The existing impervious area where the parking lot is proposed has an impervious area of 5,838; the proposed impervious area is 12,107 sf. This equated to an increase of 6,269 sf. This will allow the school to add no more than 94,276 sf of impervious area in the future.

Should you have any questions or need further clarification please don't hesitate to contact me. I can be reached at 937.490.9460.

Sincerely,

A handwritten signature in black ink, appearing to read 'Stephen Butler', with a long horizontal line extending to the right.

Stephen Butler
President

Scheduled Planning Commission Meeting
(Held every 2nd and 4th Wednesday of the month at 3:30 p.m.)

Date Requested: 8/26/20
Applicant(s) scheduled on the agenda will be notified

Office Use Only

Date Filed 8/12/20
Accepted by _____
Filing Fee Pd. \$500
Receipt # 2506

APPLICATION IS DUE TWO (2) WEEKS PRIOR TO MEETING

**APPLICATION FOR A PLANNED DEVELOPMENT
CITY OF TROY PLANNING COMMISSION**

(MUST BE TYPED OR PRINTED LEGIBLY IN BLUE INK)

(READ SECTION 1145 OF THE ZONING CODE BEFORE COMPLETING APPLICATION)

An application for a Planned Development located at 466 S Dorset Road
(Street Address)

being lot number(s) D08-048770
(Parcel Identification Number)

OWNER

APPLICANT

Name TROY CHRISTIAN SCHOOL
Address 700 S DORSET ROAD
City TROY
State OHIO
Zip Code 45373
Phone No. 937.339.5692
Fax No. _____
Email gwilber@tcmail.org

Name COMMUNITY CIVIL ENGINEERS
Address 2440 DAYTON XENIA ROAD, SUITE B
City BEAVERCREEK
State OHIO
Zip Code 45434
Phone No. 937.490.9460
Fax No. _____
Email SBUTLER@COMMUNITYCIVILENGINEERS.COM

The applicant is the X AGENT FOR OWNER _____ of the property, which is subject to this application.

(State the interest of the applicant)

PLEASE PROVIDE THE FOLLOWING:

1. Documentary evidence that establishes the legal or beneficial nature of the applicant's interest in the tract or parcel(s) and in the proposed planned development: Attach as **EXHIBIT "A"**.
2. The legal description of the land proposed to be reclassified: Attach as **EXHIBIT "B"**.
3. Written description identifying the principal types of uses to be included in the planned development: Attach as **EXHIBIT "C"**.
4. A site plan prepared by a registered engineer, surveyor or architect in duplicate drawn to such scale as to clearly show:
 - a. The actual dimensions of the subject property according to the recorded plat of such property, lot numbers, it's present zoning classification, existing and proposed uses: Attach as **EXHIBIT "D-1"**.
 - b. The location and arrangement of proposed buildings and structure, the proposed traffic circulation pattern within the planned development, the location and width of all proposed streets and public ways, the areas to be developed for parking, the points of ingress and egress, including access streets where required, the relationship of abutting land uses and zoning districts, the location of public of common

open space, if any, including parks, playgrounds, school sites, and recreational facilities: Attach as **EXHIBIT "D-2"**.

- c. Statement indicating the intensity of land use to be allocated to all parts of the area to be developed; including the use, approximate height, bulk, and gross floor area of buildings and other structures, and the percentage of the site which is to be occupied by buildings and structures; Attach as **EXHIBIT "D-3"**.
 - d. Sketches or renderings of the proposed buildings, structures and landscaping to properly describe the proposed project: Attach as **EXHIBIT "D-4"**.
 - e. Statement describing the provisions to be made for the care and maintenance of common open space or recreational facilities, proposed articles of incorporation and by-laws of the responsible entity: Attach as **EXHIBIT "D-5"**.
 - f. Statement describing in detail the substance of covenants, grants or easements or other restrictions to be imposed upon the use of land, buildings and structures, including easements for public utilities: Attach as **EXHIBIT "D-6"**.
 - g. Statement setting forth in detail all modifications required in the regulations otherwise applicable to the subject property: Attach as **EXHIBIT "D-7"**.
5. The present zoning classification of all surrounding lands located within two hundred fifty (25) feet of the land proposed to be reclassified: Attach as **EXHIBIT "E"**.
 6. The names and addresses, and lot number of the owners of property within a radius of two hundred fifty (250) feet from the parcel or parcels of land proposed to be reclassified: Attach as **EXHIBIT "F"**.
 7. Two (2) sets of mailing labels of property owners, & fifteen (15) complete sets of information no larger than 11"x17".

I HEREBY DEPOSE AND SAY THAT THE ABOVE STATEMENTS AND THE STATEMENTS CONTAINED IN ALL THE EXHIBITS PREPARED BY ME AND TRANSMITTED HERewith ARE TRUE.

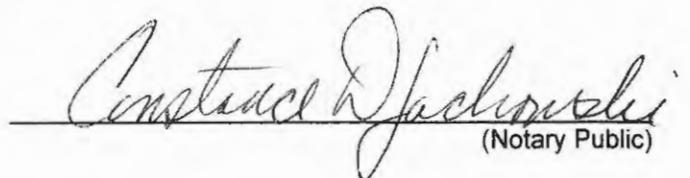

 8/11/2020
 (Applicant Signature)

Subscribed and sworn to before me this 11 day of August, 2020

My Commission Expires April 25, 2023
(Month/Date/Year)



CONSTANCE D. JACKOWSKI
 Notary Public, State of Ohio
 My Comm. Expires 04-25-2023


 (Notary Public)

REQUIRED DOCUMENTS:

- EXHIBIT A Nature of applicant interest
- EXHIBIT B Legal Description of land
- EXHIBIT C Written description principal uses
- EXHIBIT D-1 Dimensions
- EXHIBIT D-2 Location/arrangement of buildings & structures
- EXHIBIT D-3 Intensity of Land Use
- EXHIBIT D-4 Sketches property describing proposed buildings
- EXHIBIT D-5 Description of maintenance of open space or recreational facilities
- EXHIBIT D-6 Description of covenants, grants, easements or other restrictions
- EXHIBIT D-7 Modifications of regulations
- EXHIBIT E Zoning classification of parcels within 250 feet of parcel
- EXHIBIT F Property owners list within 250 feet of parcel
- Labels Two (2) Sets of Mailing Labels of Property Owners
- Copies Fifteen (15) Complete Sets in a reproducible format 11"x17"
- Filing Fee Check issued to City of Troy for \$500.00

Additional Documentation (List):

PLANNING COMMISSION DISPOSITION:

_____ PUBLIC HEARING DATE
_____ RECOMMENDATION TO CITY COUNCIL

CITY COUNCIL DISPOSITION:

1st Reading: _____ 2nd: _____ 3rd: _____ PUBLIC HEARING DATE
_____ COUNCIL COMMITTEE RECOMMENDATION
Approved: _____ Denied: _____ CITY COUNCIL ACTION
Ordinance Number: _____
Effective Date: _____



8 1 1 5 6 3 2
Tx: 4063613

MIAMI COUNTY RECORDER
JESSICA A LOPEZ
2019OR-05987
PRESENTED FOR RECORD
MIAMI COUNTY, TROY, OHIO
06/05/2019 02:06:49 PM
REFERENCES 0
RECORDING FEE 28.00
PAGES: 1

Deluxe

TRANSFERRED *500*
In compliance with ORC 319.202
MATTHEW W. GEARHARDT, Miami Co. Auditor

Denny Address
JUN 05 2019

Total Fee: \$ 265.00
ORC 319.54 \$ 132.50
ORC 322.02 \$ 132.50
Exempt

DESCRIPTION APPROVED
MIAMI COUNTY ENGINEER
BY DV DATE 6-5-2019

GENERAL WARRANTY DEED

KNOW ALL MEN BY THESE PRESENTS THAT PAULINE I. JOHNSON and KENNETH R. JOHNSON, wife and husband, of Miami County, State of Ohio, for valuable consideration paid, grants with general warranty covenants to TROY CHRISTIAN SCHOOLS, INC., an Ohio not-for-profit corporation, whose tax-mailing address is 700 South Dorset Road, Troy, Ohio 45373, the following real property:

Situated in the City of Troy, County of Miami, and State of Ohio:

Being Lot Numbered FOUR THOUSAND NINE HUNDRED FIFTY-EIGHT (4958) of the City of Troy, as recorded in Plat Book 8, Page 12 of the Plat Records of Miami County, Ohio.

Parcel No. D08-048770

This deed is executed, acknowledged and delivered by the Grantors and accepted by the Grantees subject to all easements, restrictions and covenants of record, applicable building, zoning and use regulations, and Grantees assume and agree to pay the June, 2019 installment of taxes and assessments and thereafter.

D+L Box

Prior Instrument Reference: Volume ^{0A} 500, Page 863, Miami County Official Records

Executed this 4th day of June, 2019.

Pauline I. Johnson
PAULINE I. JOHNSON

Kenneth R. Johnson
KENNETH R. JOHNSON

State of Ohio,
Miami County, ss:

Executed before me, a Notary Public, in and for said County and State, on the 4th day of June, 2019, by the above-named PAULINE I. JOHNSON and KENNETH R. JOHNSON, wife and husband, who represented to me to be said person, and who acknowledged that they did sign the foregoing instrument and that the same is their free act and deed.



MICHAEL A. RIEMAN, Attorney at Law

Michael A. Riemann

SECTION 29
TOWN 5
RANGE 6

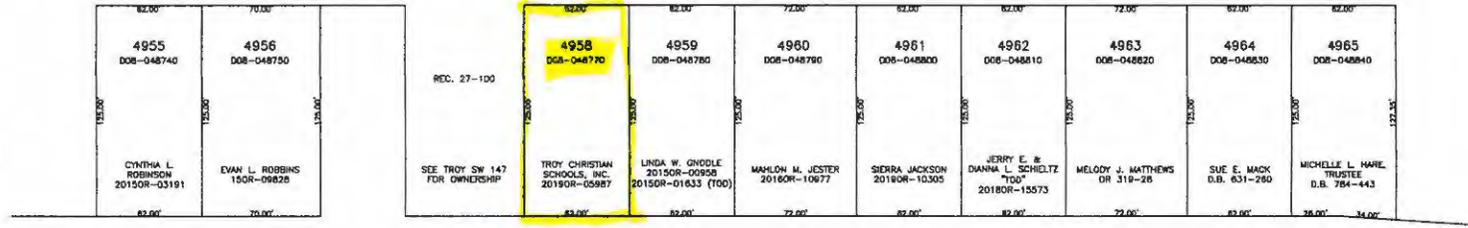
CITY OF TROY
MIAMI COUNTY, OHIO

PARCEL ID NUMBER
DOB-_____

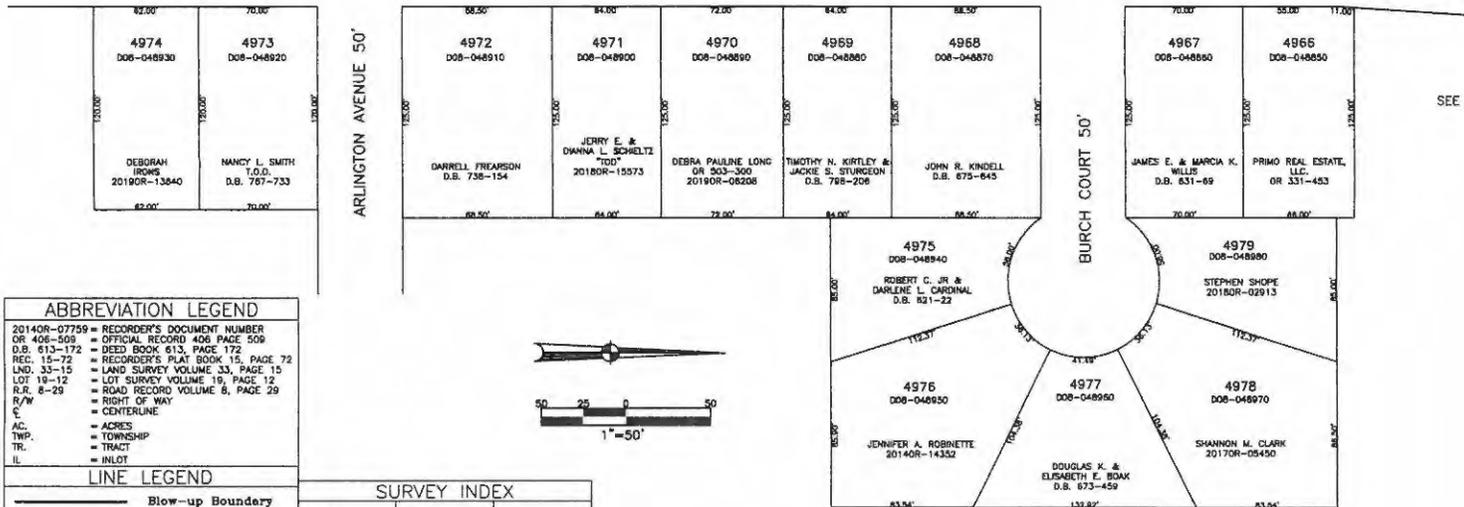
PLAT SW 98

SEE TROY SW 147

SEE TROY SW 177



DORSET ROAD 80'



SEE TROY SW 97

ABBREVIATION LEGEND

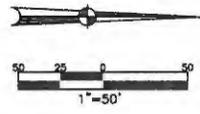
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|--------------|---|----------------------------------|
| 20140R-07759 | = | RECORDER'S DOCUMENT NUMBER |
| OR 406-505 | = | OFFICIAL RECORD 406 PAGE 509 |
| D.B. 613-172 | = | DEED BOOK 613, PAGE 172 |
| REC. 15-72 | = | RECORDER'S PLAT BOOK 15, PAGE 72 |
| LAND 33-15 | = | LAND SURVEY VOLUME 33, PAGE 15 |
| LOT 10-12 | = | LOT SURVEY VOLUME 10, PAGE 12 |
| R/R, 8-29 | = | ROAD RECORD VOLUME 8, PAGE 29 |
| R/W | = | RIGHT OF WAY |
| C. | = | CENTERLINE |
| AC. | = | ACRES |
| TWP. | = | TOWNSHIP |
| TR. | = | TRACT |
| IL | = | INLOT |

LINE LEGEND

| | |
|---------|-------------------|
| ————— | Blow-up Boundary |
| ————— | Property Line |
| ----- | Lot Split Line |
| ----- | Section Line |
| ----- | Centerline |
| ----- | Right-of-Way Line |
| /////// | Corporation Line |

SURVEY INDEX

| | | |
|-------------|--|--|
| REC. 8-12 | | |
| REC. 27-100 | | |



SEE TROY SW 99

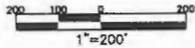
ARLINGTON SUBDMISION- NO. 2
REC. 8-12
LOTS 4955-4979

SECTION 29
TOWN 5
RANGE 6

CITY OF TROY
MIAMI COUNTY, OHIO

PARCEL ID NUMBER
DOB-

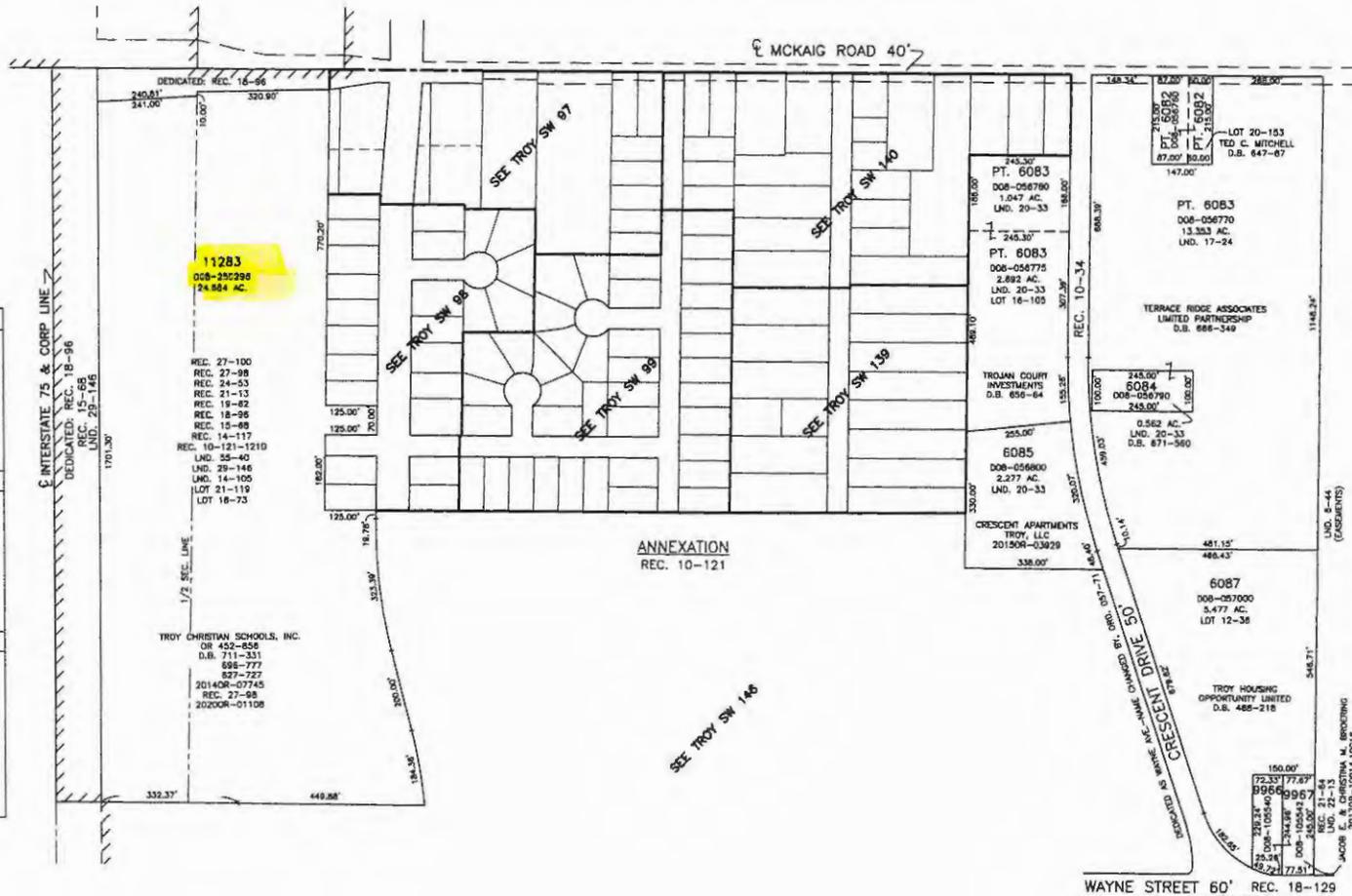
PLAT SW 147



| ABBREVIATION LEGEND | |
|---------------------|--|
| 2014OR-07799 | = RECORDER'S DOCUMENT NUMBER OR 408-509 = OFFICIAL RECORD 408 PAGE 509 |
| D.B. 613-173 | = DEED BOOK 613, PAGE 172 |
| REC. 15-72 | = RECORDER'S PLAT BOOK 15, PAGE 72 |
| LND. 33-15 | = LAND SURVEY VOLUME 33, PAGE 15 |
| LOT 19-12 | = LOT SURVEY VOLUME 19, PAGE 12 |
| R.S. 8-29 | = ROAD RECORD VOLUME 8, PAGE 29 |
| R/W | = RIGHT OF WAY |
| CL | = CENTERLINE |
| AC. | = ACRES |
| TWP. | = TOWNSHIP |
| TR. | = TRACT |
| IL | = IN LOT |

| LINE LEGEND | |
|-------------|-------------------|
| | Blow-up Boundary |
| | Property Line |
| | Lot Split Line |
| | Section Line |
| | Centerline |
| | Right-of-Way Line |
| | Corporation Line |

| SURVEY INDEX | | |
|--------------|-------------|------------|
| REC. 10-34 | LND. 6-44 | LOT 12-36 |
| REC. 10-1210 | LND. 14-105 | LOT 16-105 |
| REC. 14-117 | LND. 17-24 | LOT 18-73 |
| REC. 15-88 | LND. 30-33 | LOT 20-153 |
| REC. 18-96 | LND. 22-113 | LOT 21-110 |
| REC. 18-129 | LND. 28-146 | |
| REC. 19-82 | LND. 35-40 | |
| REC. 21-13 | | |
| REC. 21-84 | | |
| REC. 24-53 | | |
| REC. 27-98 | | |
| REC. 27-100 | | |



Map



8/19/2020, 9:27:54 AM

- TroyStreets
- Parcels
- New Parcels
- Parcels annotation
- Zones
- County Zoning (Outside Troy)
- Agriculture: 20 Acre Min.
- Agriculture-Residential: 5 Acre Min.
- R-1 Single Family Residential: 40,000 SqFt.
- R-2 Single Family Residential: 20,000 SqFt.
- R-3 Single Family Residential: 15,000 SqFt.
- R-3B Single Family Residential: 12,000 SqFt
- R-4 Single Family Residential: 9,000 SqFt.
- R-5 Single Family Residential: 6,000 SqFL.

- R-6 Two Family Residential: 3,000 SqFt/DU
- R-7 Multiple Family Residential: 3,000 SqFL/DU
- OR-1 Office-Residential: 3,000 SqFL/DU
- OC-1 Office-Commercial District
- B-1 Local Retail District
- B-2 General Business District
- B-3 Central Business District
- B-4 Highway Service Business District
- M-1 Planned Industrial District
- M-2 Light Industrial District
- M-3 General Industrial District
- PUD Planned Unit Development
- WO Wellhead Operation District

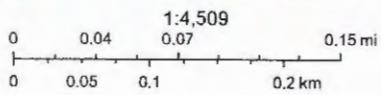
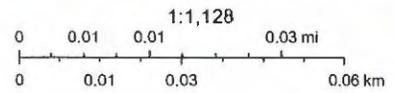


Exhibit D, E & F



8/19/2020, 9:08:23 AM

- | | |
|---|--|
| TroyStreets | R-6 Two Family Residential: 3,000 SqFt/DU |
| Parcels annotation | R-7 Multiple Family Residential: 3,000 SqFL/DU |
| Parcels | OR-1 Office-Residential: 3,000 SqFL/DU |
| New Parcels | OC-1 Office-Commercial District |
| Zones | B-1 Local Retail District |
| County Zoning (Outside Troy) | B-2 General Business District |
| Agriculture: 20 Acre Min. | B-3 Central Business District |
| Agriculture-Residential: 5 Acre Min. | B-4 Highway Service Business District |
| R-1 Single Family Residential: 40,000 SqFt. | M-1 Planned Industrial District |
| R-2 Single Family Residential: 20,000 SqFt. | M-2 Light Industrial District |
| R-3 Single Family Residential: 15,000 SqFt. | M-3 General Industrial District |
| R-3B Single Family Residential: 12,000 SqFt | PUD Planned Unit Development |
| R-4 Single Family Residential: 9,000 SqFL | WO Wellhead Operation District |
| R-5 Single Family Residential: 6,000 SqFL | |



TROY CHRISTIAN SCHOOL DORSET ROAD PARKING LOT

GENERAL NOTES

- 1) ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE STATE OF OHIO, DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS AND CONFORM WITH CITY OF TROY STANDARDS AND SPECIFICATIONS ANY CONFLICT SHOULD BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN CHARGE AT COMMUNITY CIVIL ENGINEERS, FOR ODOT SPECS VISIT: <http://www.dtl.state.oh.us/Divisions/ConstructionMgt/OnlineDocs/Pages/2010CMS.aspx>
- 2) ALL STORM DRAINAGE CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ODOT STANDARDS.
- 3) ALL TRENCH EXCAVATION WITHIN THE EXISTING AND PROPOSED STREET RIGHT-OF-WAY SHALL BE BACKFILLED WITH GRANULAR FILL MATERIAL WHERE SHOWN IN PROFILE AND BE DONE IN ACCORDANCE WITH CITY OF TROY COUNTY SPECIFICATIONS AND COMPACTED BEFORE SUBGRADE APPROVAL.
- 4) ALL UNDERGROUND UTILITY SERVICE LATERALS ARE TO BE INSTALLED FROM MAIN TO RIGHT-OF-WAY LINE OR EASEMENT LINE, WHICHEVER IS FURTHEST, BEFORE STREETS ARE SURFACED.
- 5) ALL CATCH BASINS TO BE IN ACCORDANCE WITH ODOT STANDARDS UNLESS OTHERWISE SPECIFIED.
- 6) ALL MANHOLES TO BE TYPE "A" UNLESS OTHERWISE NOTED.
- 7) CHANNEL BOTTOMS OF ALL MANHOLES.
- 8) RADIUS OF BACK OF CURB AT INTERSECTIONS SHALL BE 25.00 FEET, UNLESS OTHERWISE SHOWN.
- 9) ALL FIELD TILE ENCOUNTERED SHALL BE REPLACED OR CONNECTED TO THE STORM SEWER SYSTEM.
- 10) CURB RAMPS TO BE LOCATED AS INDICATED ON PLANS AND CONSTRUCTED IN ACCORDANCE WITH THE OHIO DEPT OF TRANSPORTATION STD CONST DWG BP-7.1 TYPE 1.
- 11) ALL EXISTING UNDERGROUND UTILITIES ARE SHOWN IN THEIR APPROXIMATE LOCATION ACCORDING TO THE BEST AVAILABLE INFORMATION. FORTY-EIGHT (48) HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHOULD NOTIFY THE FOLLOWING AGENCIES, TO OBTAIN ACCURATE FIELD LOCATIONS OF SAID EXISTING UNDERGROUND UTILITIES:

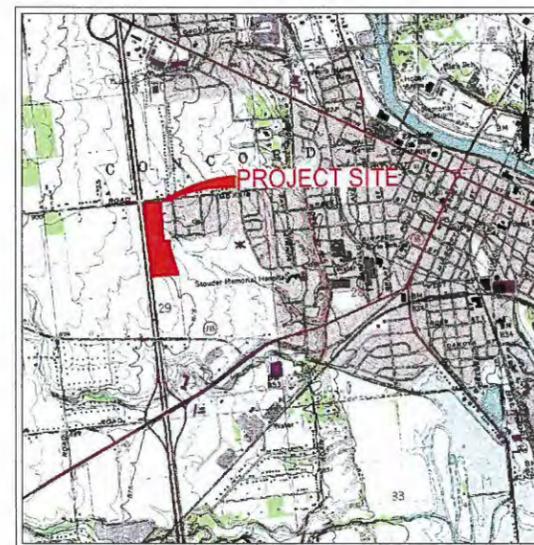
| UTILITY | OWNER | TELEPHONE |
|---|---|----------------|
| CABLE | TIME-WARNER 1450 EXPERIMENT FARM RD. TROY, OH. 45373 | (937)-294-6400 |
| ELECTRIC | DAYTON POWER & LIGHT 1900 DRYDEN ROAD DAYTON, OH. 45439 | (937)-331-3086 |
| TELEPHONE | AT&T 3233 WOODMAN DR. DAYTON, OH 45420 | (937)-296-3606 |
| GAS | VECTREN 4285 N. JAMES H. MCGEE BLVD. DAYTON, OH. 45427 | (937)-312-2533 |
| SANITARY SEWER WATER MAINS PUBLIC STORM SEWER & STREETS | CITY OF TROY 100 S. MARKET STREET TROY, OHIO 45373 | (937)-335-1725 |

- NO ADDITIONAL COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR DAMAGE AND REPAIR TO THESE FACILITIES CAUSED BY HIS WORKFORCE.
- 12) ALL MANHOLES INSTALLED IN PAVEMENT AREAS SHALL BE INSTALLED EITHER CENTERED ON A TRAVELED LANE OR ON A LONGITUDINAL PAVEMENT MARKING STRIPE, SUCH AS A LANE LINE, CHANNELING LINE OR CENTERLINE.
 - 13) ALL DISTURBED AREAS SHALL HAVE TEMPORARY SEEDING AND MULCHING. ALL AREAS THAT ARE EXPOSED SHALL BE SEEDDED WITHIN 3 DAYS AS WORK IS COMPLETED IN THE AREA.
 - 14) ALL CATCH BASIN LATERALS TO BE REINFORCED CONCRETE ASTM SPECIFICATION NUMBER C-76, CLASS 4, UNLESS OTHERWISE NOTED.
 - 15) ANY VARIANCE BETWEEN THESE PLANS AND WHAT IS FOUND IN THE FIELD OR DURING CONSTRUCTION SHOULD BE ADDRESSED TO THE ENGINEER IN CHARGE OF THE PROJECT.
 - 16) ALL STREET SURFACES, DRIVEWAYS, CULVERTS, CURB AND GUTTERS, ROADSIDE DRAINAGE DITCHES AND OTHER STRUCTURES THAT ARE DISTURBED OR DAMAGED IN ANY MANNER AS A RESULT OF CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH THE SPECIFICATIONS AT THE CONTRACTORS EXPENSE.
 - 17) TRAFFIC CONTROL ON ALL PUBLIC ROADS IS REQUIRED TO CONFORM TO "THE OHIO MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS". ANY WORK ON A THOROUGHFARE OR WORK REQUIRING CLOSURES REQUIRES 48 HOUR NOTIFICATION AND APPROVAL OF THE MONTGOMERY COUNTY. NOTICE SHALL BE GIVEN TO THE PUBLIC WORKS DIRECTOR A MINIMUM TWO WEEKS PRIOR TO ANY CLOSING.
 - 18) SAFETY REQUIREMENTS, OUTLINED IN THE STATE OF OHIO "CONSTRUCTION SAFETY CODE" FOR THIS TYPE OF WORK WILL BE ENFORCED AND THE CONTRACTOR SHALL COMPLY WITH THE PROVISIONS OF THE CODE ISSUED AS A GENERAL ORDER BY THE INDUSTRIAL COMMISSION OF OHIO.
 - 19) WHERE POTENTIAL GRADE CONFLICTS MIGHT OCCUR WITH EXISTING UTILITIES, THE CONTRACTOR SHALL UNCOVER SUCH UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT EXACT ELEVATIONS MAY BE DETERMINED AND THE NECESSARY ADJUSTMENT MADE. COST OF THE ABOVE, IF ANY, WILL BE INCLUDED IN THE BASE BID.
 - 20) PROPER TRANSITION TO BE PROVIDED FROM END OF PROPOSED STORM SEWERS, DITCHES, ROADWAY, ETC. TO EXISTING GRADE. RESTORATION OF DISTURBED AREAS ADJACENT TO THIS PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR.
 - 21) THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION AT THE CONTRACTORS EXPENSE.
 - 22) CITY STANDARD DRAWINGS ARE TO BE CONSIDERED PART OF THESE PLANS
 - 23) IT SHALL BE THE RESPONSIBILITY OF THE SITE CONTRACTOR TO IMPORT OR REMOVE ANY EXCESS EARTH OR TOPSOIL WITH PAYMENT FOR THIS TO BE A PART OF CONTRACT.
 - 24) THE SOILS REPORT FOR THIS PROJECT SHALL BE REFERENCED AT ALL TIMES.
 - 25) CONTRACTOR SHALL MAINTAIN INSPECTION AND MAINTENANCE LOGS OF EROSION CONTROL DEVICES IN CONFORMANCE WITH OHIO EPA RULES AND REGULATIONS.

ZONED R-5
LOCATED IN
CITY OF TROY
MIAMI COUNTY, OHIO 45373



VICINITY MAP
NO SCALE



USGS MAP
SCALE: 1" = 2,000'

INDEX OF SHEETS

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REVISIONS

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CCE
Civil Engineers, LLC
Community
2440 DAYTON-XENIA ROAD, SUITE B
BEAVERCREEK, OHIO 45434
TEL. 937.490.9460 FAX 937.426.9798

TITLE SHEET
TROY CHRISTIAN SCHOOL
DORSET ROAD PARKING LOT
700 S. DORSET ROAD
TROY, OHIO 45373

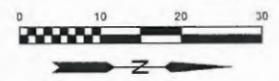


★ BENCHMARK #1
EXISTING HIGH SCHOOL BUILDING FINISHED FLOOR
ELEVATION - 874.11

★ BENCHMARK #2
EXISTING ELEMENTARY BUILDING FINISHED FLOOR
ELEVATION - 861.00

Ohio Utilities Protection Service
Call 811
before you dig

DESIGN DATE: 08/03/2020
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CHECKED: **C1**
JOB # 20-455

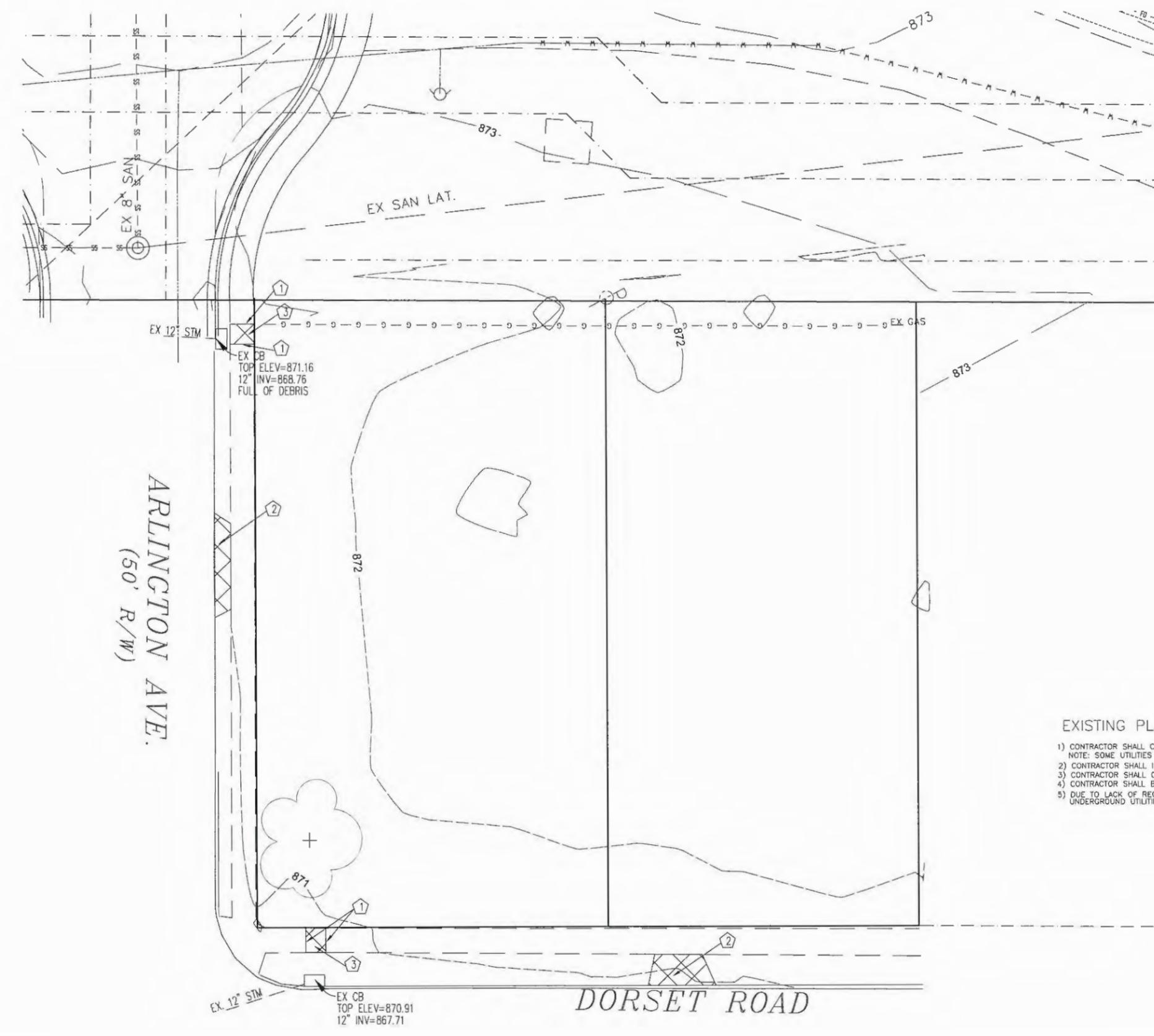


EXISTING FEATURES LEGEND

- X-X-X- FENCE
- 6" WM EX. WATER MAIN
- 12" STM EX. STORM SEWER
- 8" SAN EX. SANITARY SEWER
- EQP EX. EDGE OF PAVEMENT
- EX. GAS MAIN
- EX. TELEPHONE/CABLE
- EX. FIRE HYDRANT
- EX. CATCH BASIN
- EX. MANHOLE
- EX. VALVE
- EX. LIGHTPOLE
- EX. DOWNSPOUT
- EX. CONCRETE
- EX. TREE

DEMOLITION LEGEND

- ① SAWCUT
- ② REMOVE CONCRETE DRIVE AND CURB
- ③ REMOVE & REPLACE SIDEWALK FOR UTILITY INSTALLATION
- REMOVE ASPHALT/CONCRETE INCL. BASE
- LIMITS OF DEMOLITION



ARLINGTON AVE.
(50' R/W)

DORSET ROAD

EXISTING PLAN NOTES:

- 1) CONTRACTOR SHALL COORDINATE LOCATING OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. NOTE: SOME UTILITIES ARE CONSIDERED TO BE PRIVATE AND WILL NOT BE LOCATED BY CALLING OUPS.
- 2) CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES PRIOR TO BREAKING GROUND.
- 3) CONTRACTOR SHALL CONFIRM ALL INVERTS PRIOR TO STARTING WORK.
- 4) CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF WASTE MATERIAL LEGALLY.
- 5) DUE TO LACK OF RECORDS AVAILABLE ASSUMPTIONS HAVE HAD TO BE MADE ON THE LOCATION OF SOME UNDERGROUND UTILITIES. CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARISE.

REVISIONS

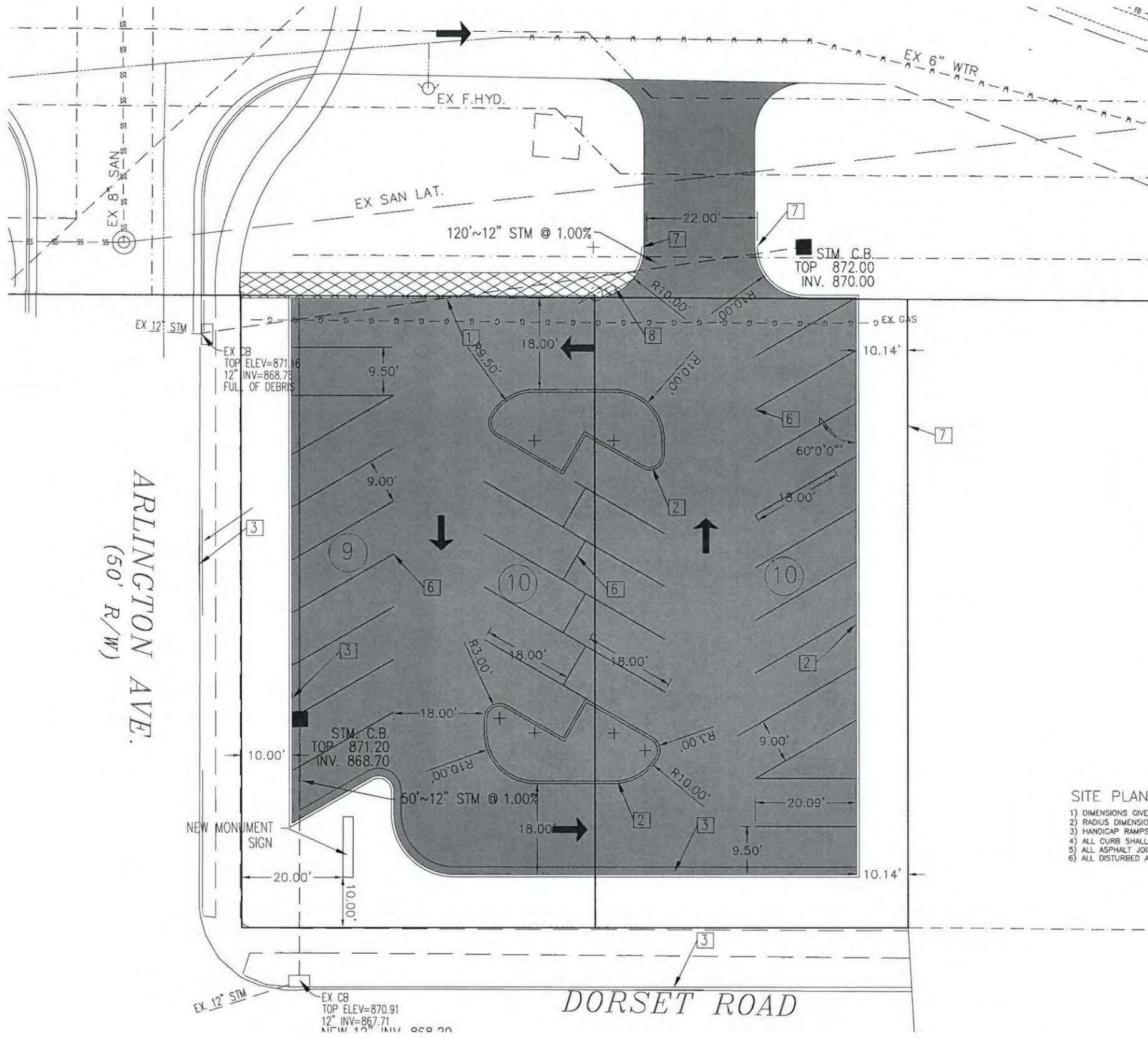
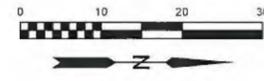
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DEMOLITION PLAN
TROY CHRISTIAN SCHOOL
DORSET ROAD PARKING LOT
700 S. DORSET ROAD
TROY, OHIO 45373

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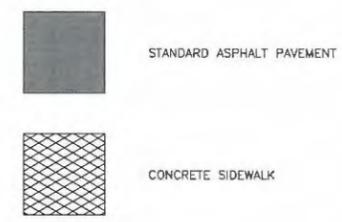
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ARLINGTON AVE.
(50' R/W)

DORSET ROAD

- 1 INTEGRAL CURB & WALK
- 2 TROY BARRIER CURB
- 3 TROY CURB AND GUTTER
- 4 CONCRETE SIDEWALK
- 5 PAINTED ARROW
- 6 STRIPING (4" WHITE) PER ODOT 642
- 7 TAPER CURB SEE DETAIL SHEET
- 8 CURB RAMP



SITE PLAN NOTES

- 1) DIMENSIONS GIVEN ARE TO FACE OF BUILDING OR FACE OF CURB UNLESS OTHERWISE NOTED
- 2) RADIUS DIMENSIONS ARE TO FACE OF CURB OR FACE OF PAINT UNLESS OTHERWISE NOTED.
- 3) HANDICAP RAMPS SHALL MEET CURRENT ADA REGULATIONS.
- 4) ALL CURB SHALL BE TROY BARRIER CURB OR COMBINATION CURB AND GUTTER SEE DETAIL SHEET
- 5) ALL ASPHALT JOINTS WITH CONCRETE OR ASPHALT SHALL BE SEALED WITH HOT AC.
- 6) ALL DISTURBED AREAS NOT DESIGNATED TO BE PAVED SHALL HAVE 4-INCHES OF TOPSOIL AND SEEDED.

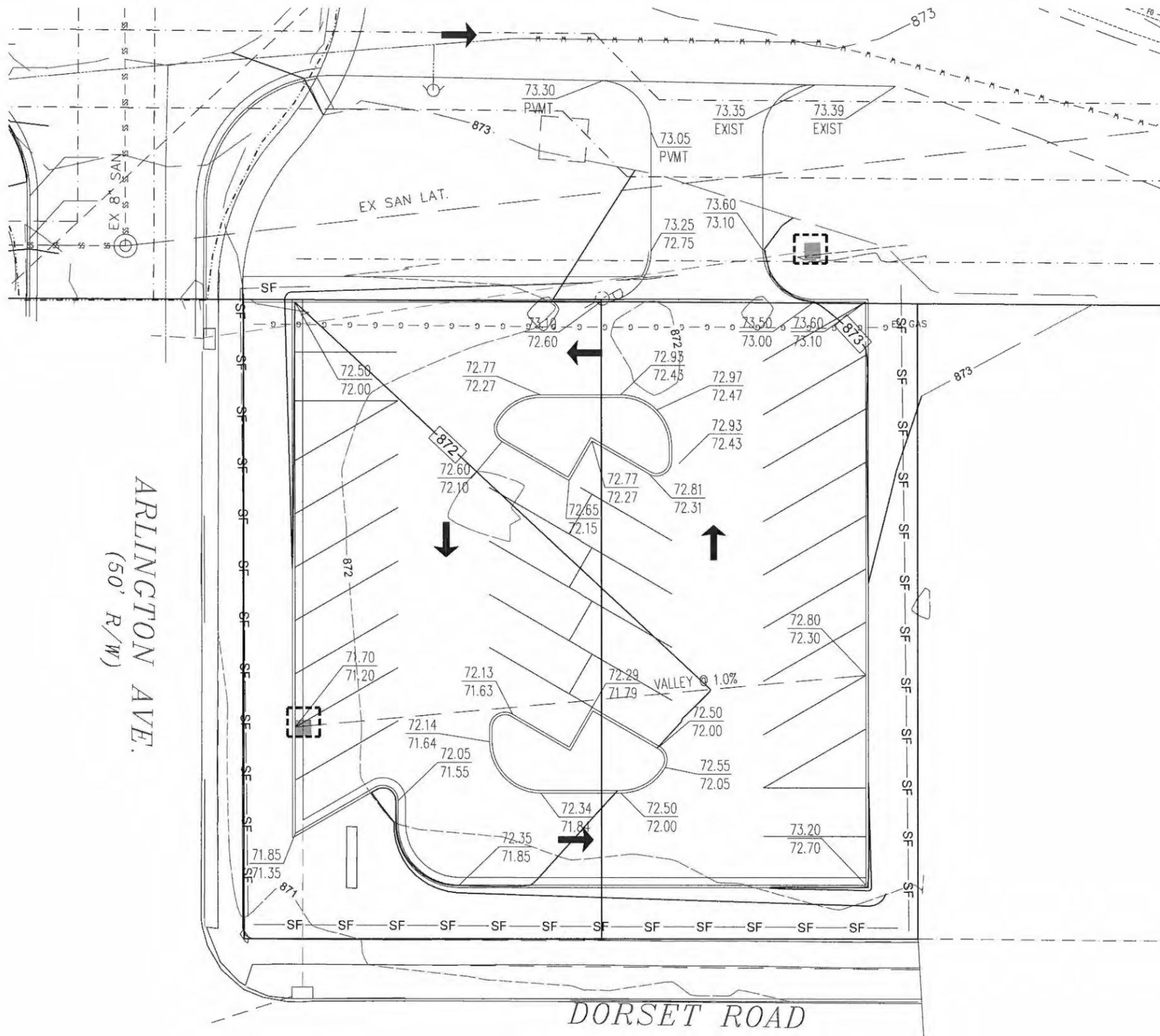
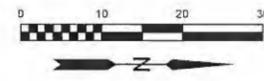
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SITE PLAN
TROY CHRISTIAN SCHOOL
DORSET ROAD PARKING LOT
700 S. DORSET ROAD
TROY, OHIO 45373

Ohio Utilities Protection Service
Call 811
 before you dig

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ARLINGTON AVE.
(50' R/W)

DORSET ROAD

GRADING NOTES:

1. BEFORE STARTING GRADING OPERATIONS, INSTALL EROSION CONTROL MEASURES.
2. PRIOR TO SITE CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL INSTALL ALL SWPP MEASURES TO PROTECT EXISTING DRAINAGE FACILITIES. CONTRACTOR SHALL PREVENT SILTATION FROM LEAVING THE SITE AT ALL TIMES.
3. STRIP PAVEMENT AREAS OF ALL ORGANIC TOPSOILS, STOCKPILE SUITABLE TOPSOILS FOR RESREADING ONTO LANDSCAPE AREAS. ALL EXCESS EXCAVATED MATERIALS SHALL BE REMOVED FROM THE SITE AT THE CONTRACTOR'S EXPENSE. SEE GEOTECHNICAL REPORT FOR STRIPPING AND TOPSOIL REQUIREMENTS.
4. SITE GRADING SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL SOFT, YIELDING OR UNSUITABLE MATERIALS AND REPLACING WITH SUITABLE MATERIALS AS SPECIFIED IN THE SOILS REPORT. UNLESS OTHERWISE SPECIFIED IN THE PLANS, SPECIFICATIONS, OR SOILS REPORT THE SITE GRADING, EXCAVATION, AND EMBANKMENT SHALL BE IN ACCORDANCE WITH THE STATE DEPARTMENT OF TRANSPORTATION CONSTRUCTION AND MATERIAL SPECIFICATIONS.
5. ALL GRADES SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY CONSTRUCTION MANAGER FOR NECESSARY PLAN OR GRADE CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
6. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY PER A.S.T.M. TEST D-698. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM. THE PROJECT ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION REPORT PREPARED BY A QUALIFIED SOILS ENGINEER REGISTERED WITHIN THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE SOILS REPORT. NOTIFY PROJECT ENGINEER IF ANY UNSUITABLE SOILS ARE FOUND.
7. EMBANKMENT SHALL BE COMPACTED AND PLACED IN LAYERS, AS SPECIFIED BY THE GEOTECHNICAL ENGINEER, PRIOR TO INSTALLATION OF STORM SEWER.
8. THE CONTRACTOR WILL, UPON BECOMING AWARE OF SUBSURFACE OR LATENT PHYSICAL CONDITIONS DIFFERING FROM THOSE DISCLOSED BY THE ORIGINAL SOIL EXPLORATION WORK, PROMPTLY NOTIFY THE OWNER VERBALLY TO PERMIT VERIFICATION OF THE CONDITIONS AND IN WRITING, AS TO THE NATURE OF THE DIFFERING CONDITIONS. NO CLAIM BY THE CONTRACTOR FOR ANY CONDITIONS DIFFERING FROM THOSE ANTICIPATED IN THE PLAN AND SPECIFICATIONS AND DISCLOSED BY THE SOIL STUDIES WILL BE ALLOWED UNLESS THE CONTRACTOR HAS SO NOTIFIED THE OWNER, VERBALLY AND IN WRITING AS REQUIRED ABOVE, OF SUCH DIFFERING CONDITIONS.
9. PRIOR TO THE CONSTRUCTION OF THE STORM SEWER AND GRADING OPERATIONS, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF THE EXISTING UTILITIES CONFLICT WITH THE PROPOSED CONSTRUCTION.
10. FOLLOWING GRADING OF SUBSOIL TO SUBGRADE ELEVATIONS, THE CONTRACTOR SHALL PLACE TOPSOIL TO A 4" DEPTH IN ALL DISTURBED AREAS WHICH ARE NOT TO BE PAVED. SMOOTHLY FINISH GRADE TO MEET SURROUNDING LAIN AREAS AND ENSURE POSITIVE DRAINAGE. STOCKPILED TOPSOIL SHALL BE SCREENED PRIOR TO RESREADING. TOPSOIL SHALL BE FREE OF SUBSOIL, DEBRIS, BRUSH AND STONES LARGER THAN 1" IN ANY DIMENSION. ROCK HOUNDING IN PLACE WILL NOT BE PERMITTED. ALL EXCESS TOPSOIL SHALL BE LEGALLY DISPOSED OF OFF SITE.
11. ELEVATIONS GIVEN ARE AT BOTTOM FACE OF CURB AND/OR FINISHED PAVEMENT GRADE UNLESS OTHERWISE SPECIFIED ON GRADING PLAN. ALL PAVEMENT SHALL BE LAID ON A STRAIGHT, EVEN, AND UNIFORM GRADE WITH A MINIMUM OF 1% SLOPE TOWARD THE COLLECTION POINTS UNLESS OTHERWISE SPECIFIED ON THE GRADING PLAN. DO NOT ALLOW NEGATIVE GRADES OR PONDING OF WATER.
12. CONTRACTOR SHALL PROVIDE BUTT END JOINT TO MEET EXISTING PAVEMENT IN ELEVATION AT DRIVE RETURNS AND ENSURE POSITIVE DRAINAGE.
13. CONTRACTOR SHALL NOTIFY ENGINEER AT COMMUNITY CIVIL ENGINEERS (937.490.9400) OF ANY DISCREPANCIES OR IF UNCERTAIN ON ANY ITEMS.

GRADING LEGEND:

- + 663.05 EXISTING GRADE
- 63.00 TOP OF CURB
- 62.50 PAVEMENT GRADE
- 61.00 SPOT GRADES ON PAVEMENT/CONC/EOP
- PVMT PAVEMENT
- CONC. CONCRETE
- HP HIGH POINT
- GND GROUND
- ASPH ASPHALT
- SF SILT FENCE
- INLET PROTECTION
- OVERLAND DRAINAGE FLOW DIRECTION
- WORK LIMIT

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Community Civil Engineers, LLC
2440 DARTON-REINA ROAD, SUITE B
BEAVERCREEK, OHIO
TEL: 937-490-9400 FAX: 937-426-9798

GRADING PLAN
TROY CHRISTIAN SCHOOL
DORSET ROAD PARKING LOT
700 S. DORSET ROAD
TROY, OHIO 45373



DESIGNER: [Name] DATE: 08/03/2020
DRAWN: [Name]
CHECKED: [Name]
JOB # 20-455



C4

Timing of Sediment-Trapping Practices
Sediment control practices shall be functional throughout earth-disturbing activity.

Settling facilities, perimeter controls, and other practices intended to trap sediment shall be implemented as the first step of grading and within seven (7) days from the start of earth disturbing activities. They shall continue to function until the upslope development area is restabilized.

Stabilization of Denuded Areas.
Denuded areas shall have soil stabilization applied within seven days if they are to remain dormant for more than fourteen (14) days. Permanent or temporary soil stabilization shall be applied to denuded areas within seven (7) days after final grade is reached on any portion of the site, and shall also be applied within seven (7) days to denuded areas which may not be at final grade, but will remain dormant (undisturbed) for longer than forty-five (45) days.

Settling Facilities.
Concentrated stormwater runoff from denuded areas shall pass through a sediment-settling facility.

The facility's storage capacity shall be sixty-seven (67) cubic yards per acre of drainage area.

Sediment Barriers
Sheet flow runoff from denuded areas shall be filtered or diverted to a settling facility.

Sediment barriers such as sediment fence or diversions to settling facilities shall protect adjacent properties and water resources from sediment transported by sheet flow.

Storm Sewer Inlet Protection.
All storm sewer inlets which accept water runoff from the development area shall be protected so that sediment-laden water from soils that are not permanently stabilized will not enter the storm sewer system without first being filtered or otherwise treated to remove sediment, unless the storm sewer system drains to a settling facility.

Working In or Crossing Streams.

1 Streams including bed and banks shall be restabilized immediately after in-channel work is completed, interrupted, or stopped.

To the extent practicable, construction vehicles shall be kept out of streams. Where in-channel work is necessary, precautions shall be taken to stabilize the work area during construction to minimize erosion.

2 If a live (wet) stream must be crossed by construction vehicles regularly during construction, a temporary stream crossing shall be provided.

Construction Access Routes.

Measures shall be taken to prevent soil transport onto surfaces where runoff is not checked by sediment controls, or onto public roads.

Sloughing and dumping.

1 No soil, rock, debris, or any other material shall be dumped or placed into a water resource or into such proximity that it may readily slough, slip, or erode into a water resource unless such dumping or placing is authorized by the approving agency, and, when applicable, the U.S. Army Corps of Engineers, for such purposes as, but not limited to, construction bridges, culverts, and erosion control structures.

2 Unstable soils prone to slipping or landsliding shall not be graded, excavated, filled or have roads imposed upon them unless the work is done in accordance with a qualified professional engineer's recommendations to correct, eliminate, or adequately address the problems.

Cut and Fill Slopes.

Cut and fill slopes shall be designed and constructed in a manner which will minimize erosion. Consideration shall be given to the length and steepness of the slope, soil type, upslope drainage area, groundwater conditions, and slope stabilization.

Stabilization of Outfalls and Channels.

Outfalls and constructed or modified channels shall be designed and constructed to withstand the expected velocity of flow from a post-development, ten-year frequency storm or critical year storm whichever is greater without eroding.

Establishment of permanent Vegetation.

A permanent vegetative cover shall be established on denuded areas not otherwise permanently stabilized.

Permanent vegetation shall not be considered established until ground cover is achieved which, in the opinion of the approving agency, provides adequate cover and is mature enough to control soil erosion satisfactorily and to survive adverse weather conditions.

Disposition of Temporary Practices.

All temporary erosion and sediment control practices shall be disposed of within thirty (30) days after final site stabilization is achieved or after the temporary practices are no longer needed, unless otherwise authorized by the approving agency. Trapped sediment shall be permanently stabilized to prevent further erosion.

Maintenance.

All temporary and permanent erosion and sediment control practices shall be designed and constructed to minimize maintenance requirements. They shall be maintained and repaired as needed to assure continued performance of their intended function. The person or entity responsible for the continued maintenance of permanent erosion controls shall be identified to the satisfaction of the approving agency.

SEEDING SCHEDULE

STABILIZATION PRACTICE: JAN. FEB. MAR. APR. MAY JUNE JULY AUG. SEPT. OCT. NOV. DEC.

PERMANENT SEEDING A ———— o / / / / / o ————

DORMANT SEEDING B ———— B ————

TEMPORARY SEEDING A ———— D ———— o / / / / / o ————

SOD E ———— o / / / / / o ————

MULCHING F ————

A = KENTUCKY BLUEGRASS @ 90 LBS./ACRE MIXED WITH PERENNIAL RYEGRASS @ 30 LBS./ACRE PLUS 2 TONS OF STRAW MULCH/ACRE

B = KENTUCKY BLUEGRASS @ 135 LBS./ACRE MIXED WITH PERENNIAL RYEGRASS @ 45 LBS./ACRE PLUS 2 TONS/ACRE STRAW MULCH

C = SPRING OATS 100 LBS./ACRE

D = WHEAT OR RYE 150 LBS./ACRE

E = SOD

F = STRAW MULCH (2 TONS/ACRE)

o / / o IRRIGATION NEEDED DURING JUNE AND JULY

o o IRRIGATION NEEDED FOR 2 TO 3 WEEKS AFTER APPLYING SOD

INSPECTION SCHEDULE

DIVERSION AND STRUCTURAL MEASURES - WILL BE INSPECTED AT SEVEN (7) DAY INTERVALS OR AFTER EVERY RAIN STORM PRODUCING RUNOFF.

SEDIMENT AND PONDS - WILL BE CHECKED AFTER EACH MAJOR PHASE OF THE DEVELOPMENT FOR SEDIMENT ACCUMULATION.

VEGETATIVE PLANTING - SPRING PLANTINGS WILL BE CHECKED DURING SUMMER OR EARLY FALL.

REPAIRS - ANY EROSION CONTROL MEASURES, STRUCTURAL MEASURES, OR OTHER RELATED ITEMS IN NEED OF REPAIR WILL BE MADE WITHIN SEVEN (7) DAYS.

MOWING - DRAINAGEWAYS, DITCHES AND OTHER AREAS THAT SUPPORT A DESIGNED FLOW OF WATER WILL BE MOWED REGULARLY TO MAINTAIN THAT FLOW.

FERTILIZATION - SEEDING AREAS WHERE THE SEED HAS NOT PRODUCED A GOOD COVER WILL BE INSPECTED AND FERTILIZED AS NECESSARY.

SEDIMENT AND EROSION CONTROL FOR COMPLIANCE WITH OEPA'S INDIVIDUAL LOT PERMIT FOR CONSTRUCTION

PRESERVING EXISTING VEGETATION

Whenever possible, preserve existing trees, shrubs and other vegetation.
To prevent root damage, do not grade, place soil piles, or park vehicles near trees marked for preservation.

STRAW BALE OR SILT FENCE

Put up before any other work is done.
Install on downslope side(s) of site with ends extended up side slopes a short distance.
Place parallel to the contour of the land to allow water to pond behind fence.
Entrench 6 inches deep (see back page).
Stake (2 stakes per bale or 1 stake every 3 feet for silt fence).
Leave no gaps between bales or sections of silt fence.
Inspect and repair once a week and after every 1/2 inch rain.
Remove sediment if deposits reach half the fence or straw bale height.
Maintain until a lawn is established.

SOIL PILES

Located away from any downslope street, driveway, stream, lake wetland, ditch or drainage way.
Temporary seed such as annual rye is recommended for topsoil piles.
Surround with straw bales or silt fence.

GRAVEL DRIVE

Install a single access drive using 3 to 5 inch aggregate over a geotextile material.
Lay gravel 6 inches deep and 10 feet wide from the foundation to the street.
Use to prevent tracking dirt onto the road by all vehicles.
Maintain throughout construction until driveway is paved.
Park all construction vehicles on the street and off of the site.

SEDIMENT CLEANUP

By the end of each work day, sweep or scrape up soil tracked onto the road.
By the end of the next work day after a storm, clean up soil washed off-site, and check straw bales and silt fence for damage or sediment buildup.

DOWNPOUT EXTENDERS

Not required, but highly recommended.
Install as soon as gutters and downspouts are completed.
Route water to a grassed area.
Maintain until a lawn is established.

REVEGETATION

Disturbed soils shall be stabilized as quick as practical with temporary vegetation on/ or mulching to protect exposed critical areas during development.
Temporary mulch is to be applied at the rate of 2-3 bales of straw per 1000 sq. ft.

SEEDING AND MULCHING

Spread 4 to 6 inches of topsoil.
Fertilize according to soil test (or apply 10 lb./1000 sq. ft. of 20-10-10 or 10-10-10 fertilizer).
Seed with an appropriate mix for the site (see table).
Rake lightly to cover seed with 1/4" of soil. Roll lightly.
Mulch with straw (2-3 bales per 1000 sq. ft.) from March 15 to August 31.
Anchor mulch by punching 2 inches into the soil with a dull, weighted disk or by using netting or other measures on steep slopes and windy areas.

SODDING

Install a single access drive using 3 to 5 inch aggregate over a geotextile material.
Lay gravel 6 inches deep and 10 feet wide from the foundation to the street.
Use to prevent tracking dirt onto the road by all vehicles.
Maintain throughout construction until driveway is paved.
Park all construction vehicles on the street and off of the site.
On slopes, lay sod starting at the bottom and work toward the top. Peg each piece down in several places.
Initial watering should wet soil 6 inches deep (or until water stands 1 inch deep in a straight-sided container). Then water lightly every day or two for 2 weeks.

If construction is completed after August 31, seeding or sodding may be delayed. Applying mulch or temporary seed (such as rye or winter wheat) is required from September 1 to March 15. Straw bales or silt fences must be maintained until final seeding is completed in spring March 15 - May 31.

TEMPORARY EROSION CONTROL 1

FABRIC PROPERTIES

| | |
|---|--------------------------------------|
| MINIMUM TENSILE STRENGTH | 120 LBS. |
| MAXIMUM ELONGATION AT 60 LBS | 50% |
| MINIMUM PUNCTURE STRENGTH | 50 LBS. |
| MINIMUM TEAR STRENGTH | 40 LBS. |
| MINIMUM BURST STRENGTH | 200 PSI |
| APPARENT OPENING SIZE | ≤ 0.84mm |
| MINIMUM PERMITTIVITY | 1X10 ⁻⁴ sec ⁻¹ |
| ULTRAVIOLET EXPOSURE STRENGTH RETENTION | 70% |

TEMPORARY EROSION CONTROL 1

CITY OF TROY

REVISIONS: DATE APPROVED: NOV 2017

PAGE No. 600-13

TEMPORARY EROSION CONTROL 2

SEDIMENT BASIN OUTLET

TEMPORARILY LOCATED AT BASIN NOT TO BE REMOVED UNTIL SITE HAS BEEN STABILIZED

TEMPORARY EROSION CONTROL 2

CITY OF TROY

REVISIONS: DATE APPROVED: NOV 2017

PAGE No. 600-14

REVISIONS

| | | | | | |
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| 10 | 11 | 12 | 13 | 14 | 15 |
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EOE
Community Civil Engineers, LLC
2440 DARTON-RENA ROAD, SUITE B
BEAVERCREEK, OHIO 45144
TEL: 937-450-9160 FAX: 937-426-9798

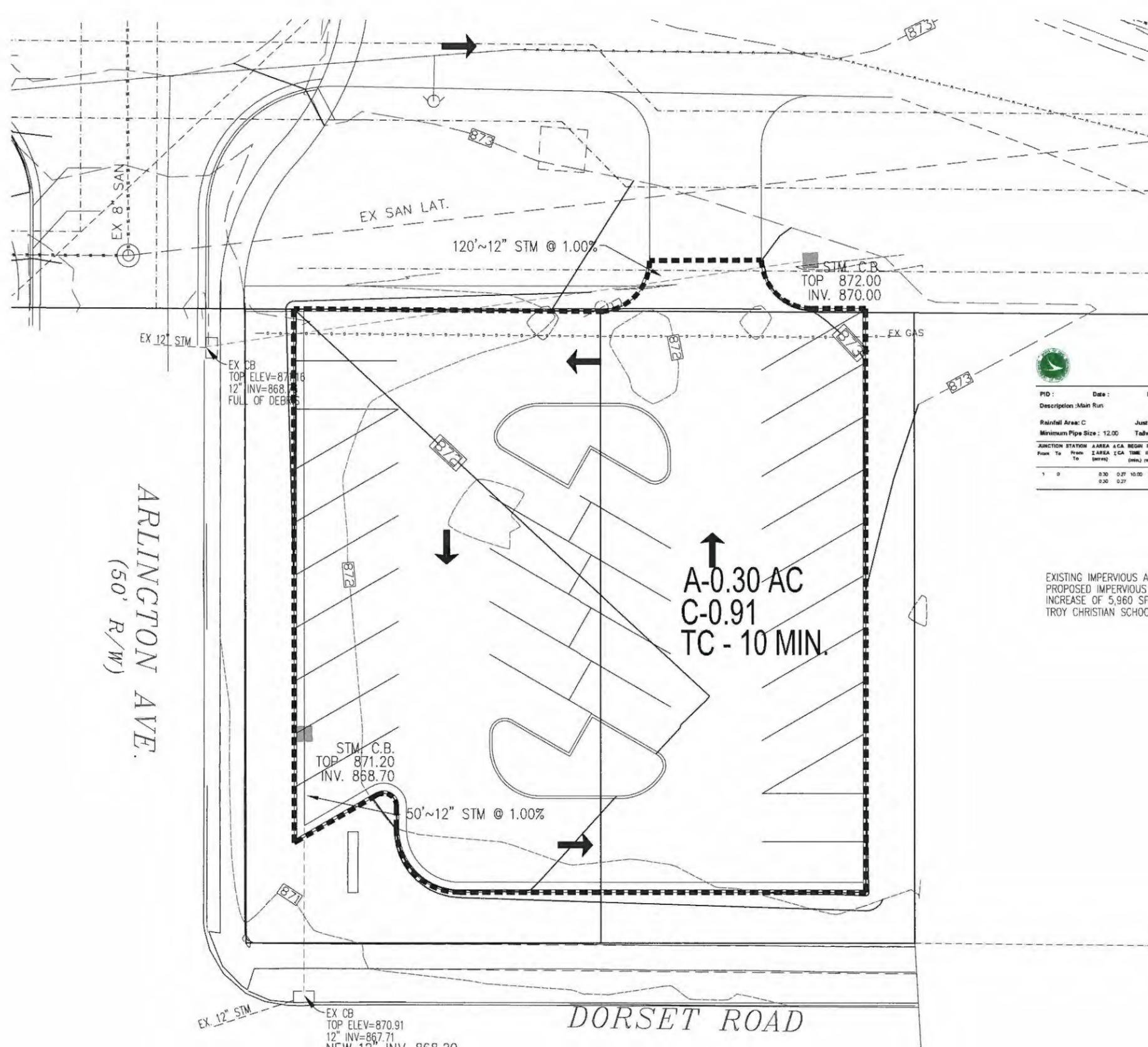
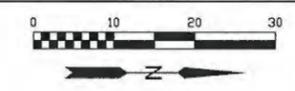
EROSION CONTROL DETAILS
TROY CHRISTIAN SCHOOL
DORSET ROAD PARKING LOT
700 S. DORSET ROAD
TROY, OHIO 45373



DESIGN DATE: 08/03/2020

JOB # 20-455

C5



STORM SEWER SYSTEM

PID: _____ Date: _____ Project: TCS Parking Location: 700 S Dorset Designer: Stephen Butler
 Description: Main Run
 Rainfall Area: C Just Full Capacity Frequency (yrs.): 10 Hydraulic Gradient Frequency (yrs.): 50
 Minimum Pipe Size: 12.00 Tailwater Elevation (ft.): 0.00

| JUNCTION | STATION | AREA | CA | BECH | RANFALL | DISCHARGE | PIPE | PI PIPE | MEAN | JUST FULL | FRICT | HYDR EL | COVER | COVER | COVER | INLET TYPE | | | | |
|----------|---------|---------|------|-------|-----------|-----------|------|---------|--------|-----------|--------|----------|--------|--------|--------|------------|--------|------|------|-------|
| From | To | AREA | CA | TIME | INTEGRITY | (cfs) | DIAM | LENGTH | SLOPE | IN/OUT | VEL | CAPACITY | SLOPE | IN/OUT | IN/OUT | MANHOLE | | | | |
| | | (SQ FT) | | (MIN) | (%) | (CFD) | (IN) | (FT) | (%/FT) | (FT) | (FT) | (GPM) | (%/FT) | (FT) | (FT) | (IN) | | | | |
| 1 | 0 | 0.30 | 0.27 | 10.00 | 0.30 | 7.05 | 1.4 | 1.8 | 10 | 50.0 | 0.0100 | 858.70 | 4.98 | 2.78 | 0.0055 | 868.33 | 871.20 | 1.87 | 1.87 | CB |
| | | 0.30 | 0.27 | | | | | | | | | 858.20 | | | | 868.85 | 870.91 | | | 0.011 |

EXISTING IMPERVIOUS AREA 5,840 +/- SF
 PROPOSED IMPERVIOUS AREA 11,800 +/- SF
 INCREASE OF 5,960 SF. ADDED IMPERVIOUS AREA ACCOUNTED FOR IN TROY CHRISTIAN SCHOOL DETENTION BASIN

A-0.30 AC
 C-0.91
 TC - 10 MIN.

ARLINGTON AVE.
(50' R/W)

DORSET ROAD

REVISIONS

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| 2 | |
| 1 | |



DRAINAGE PLAN
TROY CHRISTIAN SCHOOL
DORSET ROAD PARKING LOT
 700 S. DORSET ROAD
 TROY, OHIO 45373



| | | |
|--------|------|------------|
| DESIGN | DATE | 08/03/2020 |
| DRAWN | | |
| CHECK | | |
| JOB # | | |
| 20-455 | | |



C6

MODIFICATIONS
ANY MODIFICATIONS TO THE SPECIFICATIONS OR CHANGES TO THE WORK AS SHOWN ON THE DRAWINGS MUST HAVE PRIOR WRITTEN APPROVAL BY THE CITY.

SEEDING
ALL AREAS DESIGNATED FOR SEEDING SHALL HAVE A MINIMUM OF 3" OF TOPSOIL OVER THE ENTIRE AREA. THE AREA SHALL BE RAKED, ROLLED, AND PRESSED READY FOR SEEDING. NO STONE OVER 1" IN SIZE PERMITTED.

TREE PLANTING IN PUBLIC RIGHT-OF-WAY
ALL TREES PLANTED IN THE PUBLIC RIGHT-OF-WAY SHALL HAVE THE TREE AND LOCATION APPROVED BY THE CITY.

UTILITY SEPARATION
ANY UNDERGROUND UTILITIES SUCH AS GAS, ELECTRIC, CABLE TV, TELEPHONE, ETC., SHALL HAVE TO BE SEPARATED FROM ANY CITY UTILITY UNLESS OTHERWISE APPROVED.

UTILITIES
THE MAXIMUM LENGTH OF ANY UTILITY TRENCH TO BE OPEN AT ANY TIME SHALL BE 100' UNLESS OTHERWISE APPROVED.

GENERAL NOTES 1

CITY OF TROY
ChoiceOne

| REVISIONS | DATE APPROVED |
|-----------|---------------|
| NOV 2017 | 100-1 |

TRENCH DETAIL

TRENCH COMPACTION METHODS

A. FLODDING SHALL NOT BE PERMITTED.

B. MECHANICAL DEVICES, HAND DEVICES, VIBRATING PLATES OR OTHER EQUIPMENT APPROVED BY THE CITY ARE ACCEPTABLE. 1" ABOVE PIPE IN UNIFORM LIFTS OF 12" (CLOSE OPEN) OF EXISTING NATIVE MATERIAL AND 2" OF STRUCTURAL BACKFILL. THE HEIGHT OF LIFTS WILL DEPEND UPON THE TYPE OF MECHANICAL EQUIPMENT BEING USED. THE HEIGHT WILL BE 6" FOR HAND OPERATED TOOLS AND UP TO 12" ON EQUIPMENT MOUNTED TOOLS. THE COMPACTOR EQUIPMENT SHALL BE CAPABLE OF COMPACTING THE MATERIAL UNDER THE HAUNCH OF THE PIPE.

C. SETTING IS APPROVED FOR 300T 60S, TYPE 2 STRUCTURAL MATERIAL ONLY IF A STORM DRAIN IS AVAILABLE AS A DRAINAGE OUTLET FOR THE REMOVAL OF EXCESS WATER. IF A MAXIMUM LIFT SHALL BE ACHIEVED TO SATISFACTORY DRAINAGE SHALL BE PROVIDED BY THE USE OF DRAINAGE DITCHES, PUMPS OR OTHER EQUIPMENT. ALL WATER MUST BE METERS FOR COMPACTOR METHOD.

D. DENSITY FOR THE ABOVE METHODS SHALL BE NO LESS THAN THAT OF THE SURROUNDING GROUND UNLESS OTHERWISE SPECIFIED.

E. OFF-PAVEMENT AREAS SHALL BE PROVIDED WITH A MINIMUM OF 12" OF TOPSOIL OVER THE COMPACTED MATERIAL, AND THEN SEEDED AND MULCHED PER DOT 304 AND 100-1.

F. IN-PAVEMENT AREAS SHALL MATCH EXISTING ASPHALT SECTION OR FOLLOW TYPICAL PAVEMENT SECTION DETAILS. THE WHICHEVER IS MORE RESTRICTIVE. SEE BUILT JOINT DETAIL ON ASPHALT OVERLAY SHEET FOR JOINT TO EXISTING PAVEMENT.

G. ALL EDGINGS SHALL BE SEALED.

H. THE OPEN ENDS OF ALL PIPES AND SPECIAL CASTINGS SHALL BE PLUGGED OR OTHERWISE CLOSED WITH A WATER-TIGHT PLUG TO THE APPROVAL OF THE CITY BEFORE LEAVING THE WORK FOR THE NIGHT.

GENERAL NOTES 2

CITY OF TROY
ChoiceOne

| REVISIONS | DATE APPROVED |
|-----------|---------------|
| NOV 2017 | 100-3 |

CURB RAMPS 3

GENERAL NOTES 3

CITY OF TROY
ChoiceOne

| REVISIONS | DATE APPROVED |
|-----------|---------------|
| NOV 2017 | 300-12 |

GRAFFITI AND VANDALISM
THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ANY CONCRETE, MORTAR, ETC. WHICH IS SEVERELY DAMAGED BY THE CITY DUE TO GRAFFITI OR VANDALISM DAMAGE.

CONTROL OF SPILLS
BEST CONSTRUCTION PRACTICES ARE TO BE IMPLEMENTED TO MAINTAIN WATER QUALITY IMPACTS. OIL EQUIPMENT, PETROLEUMS, AND NON-HAZARDOUS MATERIALS SHALL NOT BE STORED NEAR DRAINAGE WAYS, STORMS, OR STORMS. RETICULING SHALL NOT BE UNDERTAKEN NEAR DRAINAGE WAYS, STORMS, OR STORMS.

WORK LIMITS
ALL WORK SHALL BE WITHIN EXISTING RIGHT-OF-WAY AND FOR CONSTRUCTION LIMITS UNLESS OTHERWISE INSTRUCTED BY THE CITY.

SEALING COMPOUND
ALL EXPOSED CONCRETE SHALL HAVE A CURING AND SEALING COMPOUND APPLIED. THE CURING AND SEALING COMPOUND SHALL BE APPLIED IN 2 COATS. CURING AND SEALING COMPOUND COLOR TO BE APPROVED BY THE CITY.

GENERAL NOTES 2

CITY OF TROY
ChoiceOne

| REVISIONS | DATE APPROVED |
|-----------|---------------|
| NOV 2017 | 100-2 |

SIDEWALK DETAIL

GENERAL NOTES 2

CITY OF TROY
ChoiceOne

| REVISIONS | DATE APPROVED |
|-----------|---------------|
| NOV 2017 | 300-B |

CURB RAMPS 2

GENERAL NOTES 2

CITY OF TROY
ChoiceOne

| REVISIONS | DATE APPROVED |
|-----------|---------------|
| NOV 2017 | 300-11 |

CURB DETAILS

GENERAL NOTES 2

CITY OF TROY
ChoiceOne

| REVISIONS | DATE APPROVED |
|-----------|---------------|
| OCT 2018 | 300-13 |

STANDARD ASPHALT PAVEMENT SECTION

GENERAL NOTES 2

CITY OF TROY
ChoiceOne

| REVISIONS | DATE APPROVED |
|-----------|---------------|
| NOV 2017 | 300-10 |

CURB RAMPS 1

GENERAL NOTES 2

CITY OF TROY
ChoiceOne

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| NOV 2017 | 300-10 |

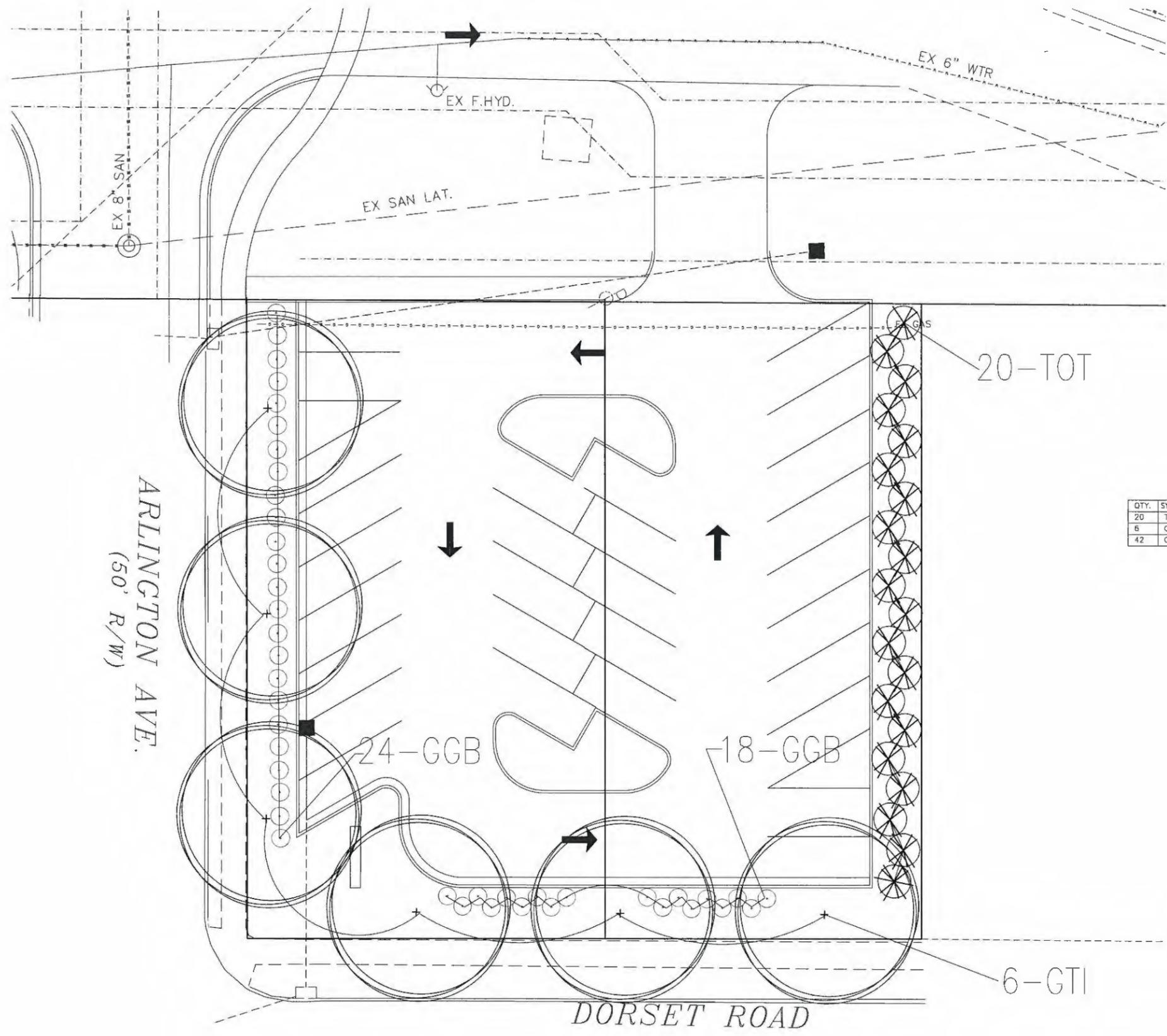
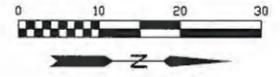
NOTES AND SITE DETAILS

TROY CHRISTIAN SCHOOL
DORSET ROAD PARKING LOT
700 S. DORSET ROAD
TROY, OHIO 45373

DESIGNER: STEPHEN J. STEPHENSON, REGISTERED PROFESSIONAL ENGINEER

DATE: 08/03/2020

DESIGN: C7



ARLINGTON AVE.
(50' R/W)

DORSET ROAD

LEGEND

| QTY. | SYMBOL | BOTANICAL NAME | COMMON NAME | SIZE |
|------|--------|-------------------------------|---------------------|--------|
| 20 | TOT | THUJA OCCIDENTALIS 'TECHNY' | TECHNY ARBORVITAE | 6" B&B |
| 6 | GTM | GLEDITSIA TRIACANTHOS MORAINI | MORAINI HONEYLOCUST | 2" CAL |
| 42 | GGB | BUXUS 'GREEN GEM' | GREEN GEM BOXWOOD | 24" |

REVISIONS

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| 6 | |
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| 3 | |
| 2 | |
| 1 | |

LANDSCAPE PLAN
TROY CHRISTIAN SCHOOL
DORSET ROAD PARKING LOT
700 S. DORSET ROAD
TROY, OHIO 45373



DESIGNER: SJS
DATE: 08/03/2020
DRAWN: SJS
CHECKED: L1
JOB # 20-455

